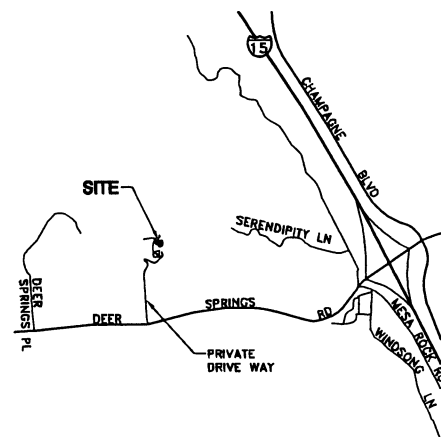




TURMAN RESIDENCE  
684 DEER SPRINGS ROAD  
SAN MARCOS, CA 92069  
NS-323-01

#### VICINITY MAP



THOMAS GUIDE PAGE: 1089, B-7

ADDRESS:  
684 DEER SPRINGS ROAD  
SAN MARCOS, CA 92069

COORDINATES (NAD 83):  
LATITUDE: 33° 11' 52.3" NORTH  
LONGITUDE: 117° 08' 44.7" WEST

#### ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

#### CONSULTANT TEAM

ARCHITECT:  
WILLIAM BOOTH & ROBERT SUAREZ  
ARCHITECTURE & PLANNING  
P.O. BOX 4651  
CARLSBAD, CA 92018  
(760) 434-8474  
(760) 434-8596 (FAX)

ELECTRICAL CONSULTANT:  
WALTER D. CAMP, ELECTRICAL ENGINEER, PE  
1880 SHEEP RANCH LOOP  
CHULA VISTA, CA. 91913  
(619) 934-1815

SURVEYOR:  
CHRISTENSEN ENGINEERING AND SURVEYING  
7888 SILVERTON AVENUE, SUITE J  
SAN DIEGO, CA 92126  
(858) 271-8901  
(858) 271-8912 (FAX)

#### PROJECT SUMMARY

APPLICANT: CINGULAR WIRELESS  
6180 CORNERSTONE CT., SUITE 150  
SAN DIEGO, CA 92121  
(858) 642-9441

OWNER: ARLEN TURMAN  
684 DEER SPRINGS ROAD  
SAN MARCOS, CA 92069  
SITE CONTACT: ARLEN TURMAN  
(760) 471-0135

#### PROJECT DESCRIPTION:

- INSTALLATION OF EIGHT OUTDOOR BASE TRANSCEIVER EQUIPMENT CABINETS ON A CONCRETE PAD INSIDE A SPLIT-FACE BLOCK RETAINING ENCLOSURE
- INSTALLATION OF THREE ANTENNA SECTORS, OF FOUR ANTENNAS EACH (TOTAL OF 12 ANTENNAS) MOUNTED TO A PROPOSED 35'-0" HIGH MONOTREE
- INSTALLATION OF ONE E-911/OPS ANTENNA MOUNTED TO THE INSIDE FACE OF THE ENCLOSURE WALL
- INSTALLATION OF NEW 200 AMP ELECTRICAL SERVICE
- PROVIDE NEW UNDERGROUND TELCO SERVICE CONNECTION FROM EXISTING UTILITY POLE
- INSTALL COAXIAL CABLE IN CONDUIT TO PROPOSED MONOBROADLEAF TREE

#### LEGAL DESCRIPTION:

PARCEL A:  
PARCEL 1 OF PARCEL MAP NO. 1944, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 27, 1973 AS FILE NO. 73-273098 OF OFFICIAL RECORDS.

PARCEL B:  
AN EASEMENT FOR ROAD AND UTILITY PURPOSES OVER THE WEST 30.00 FEET OF PARCEL 2 OF PARCEL MAP NO. 1944, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JUNE 7, 1978 AS FILE NO. 73-273098 OF OFFICIAL RECORDS.

PROJECT ADDRESS: 684 DEER SPRINGS ROAD  
SAN MARCOS, CA 92069

ASSESSORS PARCEL NUMBER: 182-040-67

EXISTING ZONING: A-70

EXISTING SITE AREA: 224,770 SQ. FT.  
= 5.16 ACRES

PROPOSED PROJECT AREA: 338 SQ. FT.

TYPE OF CONSTRUCTION: TYPE V, NON-RATED  
(UNSPRINKLERED)

PROPOSED OCCUPANCY: NONE  
(EXTERIOR EQUIPMENT CABINETS ONLY)

#### SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN AND GENERAL SPECIFICATIONS
A-1	ENLARGED SITE PLAN AND ANTENNA PLAN
A-2	EXTERIOR ELEVATIONS
A-3	MONOTREE DETAILS
C-1	SURVEY

#### SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE.

#### APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  
CALIFORNIA STATE BUILDING CODE, TITLE 24, 2001 EDITION  
CALIFORNIA PLUMBING CODE, 2001 EDITION  
CALIFORNIA MECHANICAL CODE, 2001 EDITION  
CALIFORNIA ELECTRICAL CODE, 2001 EDITION  
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

BOOTH &  
SUAREZ

ARCHITECTS ■ PLANNERS  
WILLIAM M. BOOTH, ARCHITECT ■ ROBERT L. SUAREZ, ARCHITECT  
P.O. BOX 4651, CARLSBAD, CA 92018 (760) 434-8474

PREPARED FOR

cingular  
WIRELESS

6160 CORNERSTONE CT., SUITE 150  
SAN DIEGO, CA 92121

#### APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
OWNER APPROVAL	DATE

#### PROJECT NAME

TURMAN RESIDENCE

#### PROJECT NUMBER

NS-323-01

684 DEER SPRINGS ROAD  
SAN MARCOS, CA 92069  
SAN DIEGO COUNTY

#### DRAWING DATES

02/28/05	PRELIM 2D REVIEW (rel)
03/04/05	FINAL 2D REVIEW (rel)
02/13/06	PLANNING COMMENTS (job)
03/13/06	PLANNING SUBMITTAL (pl)
06/13/06	PLANNING SUBMITTAL (oo)

#### SHEET TITLE

TITLE SHEET

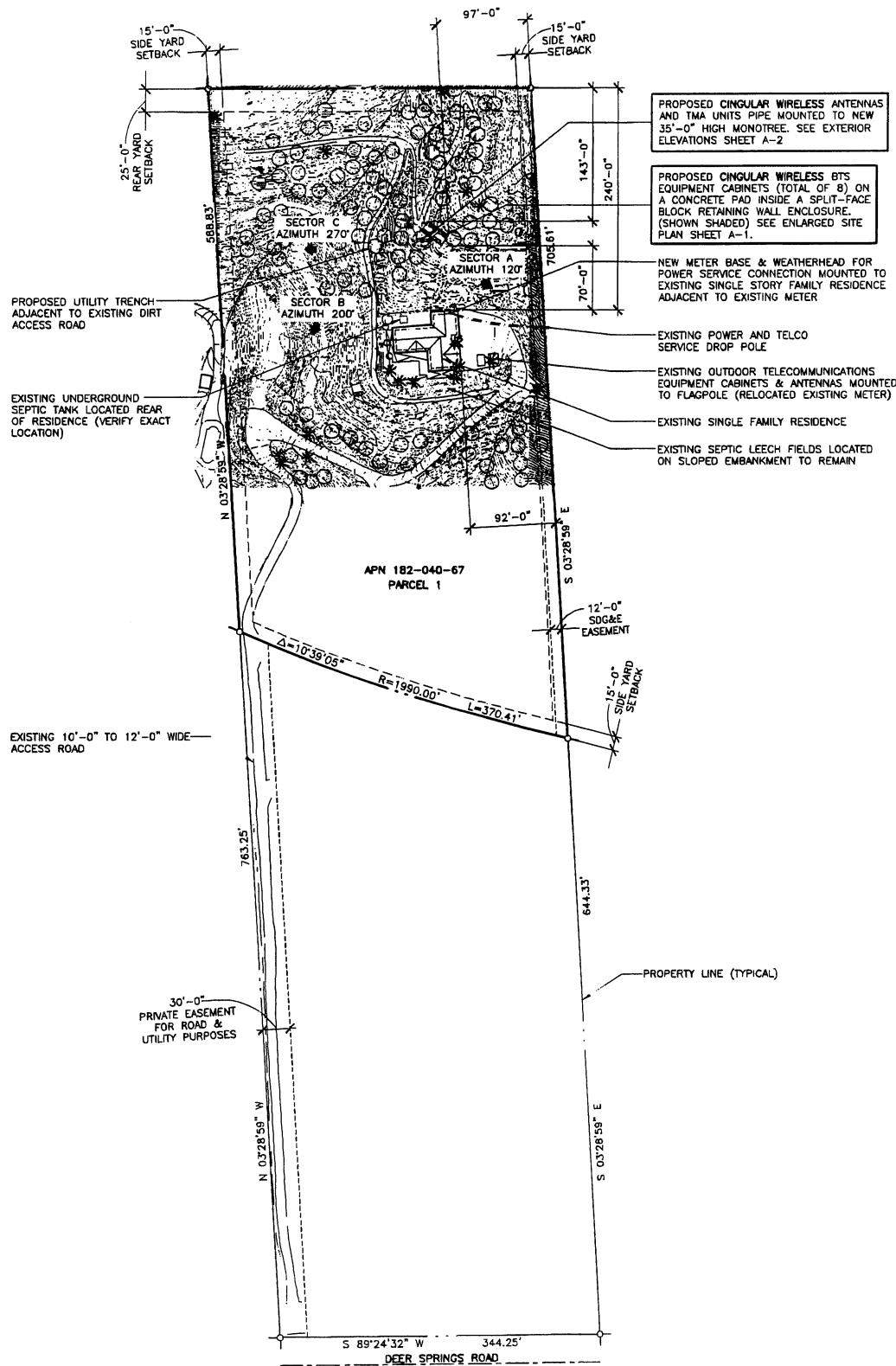
RECEIVED

JUN 16 2006

San Diego County  
DEPT. OF PLANNING & LAND USE

T-1

P05 - 004  
ER 05 - 08 - 008



## SITE PLAN

SCALE: 1" = 60'-0"

CINGULAR WIRELESS TELECOMMUNICATIONS TRANSMITTER  
FREQUENCIES AND POWER LEVELS:

1850-1990 MHz BAND WIDTH  
800 WATTS ERP PER SECTOR

### BOUNDARY NOTE:

THE PROJECT BOUNDARY SHOWN ON THIS DRAWING IS  
APPROXIMATE AND IS SHOWN FOR REFERENCE ONLY. A  
BOUNDARY SURVEY WAS NOT PERFORMED.

### BENCHMARK:

COUNTY OF SAN DIEGO CONTROL STATION ROS13928 PT#1069.

ELEVATION: 1016.97' MEAN SEA LEVEL (N.G.V.D. 1929).

### EASEMENTS:

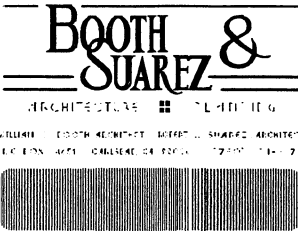
EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH  
OF RECORDED PARCEL MAPS. EASEMENTS ARE SUBJECT TO  
REVIEW OF FINAL TITLE REPORT

## GENERAL SPECIFICATIONS

- THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS  
DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR  
CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF  
COMPLETELY REPRODUCED HEREIN.
- THIS FACILITY IS AN UNOCCUPIED PCS TELECOMMUNICATIONS SITE  
AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS  
PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE  
THEMSELVES WITH ALL FIELD CONDITIONS AFFECTING THE PROPOSED  
PROJECT INCLUDING DEMOLITION, ELECTRICAL, MECHANICAL, AND  
STRUCTURAL INSTALLATIONS, AS WELL AS WITH THE CONSTRUCTION  
AND CONTRACT DOCUMENTS AND SHALL CONFIRM THAT THE  
PROJECT CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING  
WITH CONSTRUCTION. SHOULD ANY ERRORS, OMISSION, OR  
DISCREPANCIES BE FOUND, THE GENERAL CONTRACTOR SHALL  
IMMEDIATELY NOTIFY CINGULAR WIRELESS CONSTRUCTION MANAGER  
AND THE ARCHITECT BY WRITING. IN THE EVENT OF DISCREPANCIES  
THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE  
WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE. IF  
A DISCREPANCY EXISTS AND THE PROJECT MANAGER AND ARCHITECT  
ARE NOT NOTIFIED, THE GENERAL CONTRACTOR SHALL BE HELD  
RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR OR CORRECT  
ALL PROBLEMS THAT RESULT.
- DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS ARE INTENDED  
TO BE DIMENSIONAL ONLY. NOTED DIMENSIONS HAVE PRECEDENCE  
OVER DRAWING SCALE AND DETAIL DRAWINGS HAVE PRECEDENCE  
OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK  
ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS  
SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS, OR BEGIN  
ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS  
HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
- THE CONTRACTOR SHALL INCLUDE IN HIS OR HER BID ALL  
MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO  
COMPLETE THE WORK AS INDICATED OR IMPLIED BY THESE  
DRAWINGS.
- CONTRACTOR SHALL NOTIFY THE CINGULAR WIRELESS CONSTRUCTION  
MANAGER, THE PROJECT OWNER AND THE ARCHITECT IF ANY  
DETAILS ARE CONSIDERED IMPRACTICAL, UNSUITABLE, UNSAFE, NOT  
WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF  
WORK IS PERFORMED THAT WILL BE ASSUMED THAT THERE IS NO  
OBJECTION TO ANY DETAIL. DETAILS ARE INTENDED TO SHOW THE  
END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE  
REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS  
PART OF THE WORK.
- EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE  
VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY  
DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR  
SHALL NOTIFY THE CINGULAR WIRELESS CONSTRUCTION MANAGER  
AND THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE  
PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL TELEPHONE & RADIO  
EQUIPMENT LAYOUTS, SPECIFICATIONS, PERFORMANCE, INSTALLATION  
AND FINAL LOCATIONS WITH CINGULAR WIRELESS CONSTRUCTION  
MANAGER PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL BE  
RESPONSIBLE FOR COORDINATING HIS WORK WITH ERICSSON RADIO  
SYSTEMS.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE  
CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS  
QUESTIONS REGARDING THEIR EXACT MEANING, THE CONTRACTOR  
SHALL NOTIFY THE CINGULAR WIRELESS CONSTRUCTION MANAGER  
AND THE ARCHITECT BEFORE THE CONTRACTOR PROCEEDS  
WITH THE WORK.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES  
AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK  
AND INCLUDE THOSE IN THE COST OF THE WORK TO CINGULAR  
WIRELESS.
- THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE  
ANY SUBCONTRACTORS OR WORKMEN ARE ON THE SITE AND SHALL  
SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND  
ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL  
CONSTRUCTION MEASURES, METHODS, TECHNIQUES, PROCEDURES AND  
SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK  
UNDER THE CONTRACT.
- WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF  
THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING  
MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL  
CONSTRUCTION PRACTICES:
  - NRCA NATIONAL ROOFING CONTRACTORS ASSOCIATION  
O'HARE INTERNATIONAL CENTER  
10225 W. HIGGINS ROAD, SUITE 600  
ROSEMONT, IL 60018
  - SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS  
NATIONAL ASSOCIATION  
4201 LAFAYETTE CENTER DRIVE  
CHANTILLY, VA 20151-1209
  - ILP INTERNATIONAL INSTITUTE FOR LATH AND PLASTER  
820 TRANSFER ROAD  
ST. PAUL, MN 55114-1408
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION  
OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS  
SPECIFICALLY NOTED TO THE CONTRARY, OR WHERE LOCAL CODES  
OR REGULATIONS TAKE PRECEDENCE.
- THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL  
NECESSARY BLOCKING, BRACING, FRAMING, HANGERS OR OTHER  
SUPPORTS FOR ALL ITEMS REQUIRING THE SAME.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL GIVE ALL  
NOTICES AND SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES,  
REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE  
DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF  
INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT THE PROPERTY OWNERS, AND  
CINGULAR WIRELESS PROPERTY FROM DAMAGE WHICH MAY OCCUR  
DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO, EXPOSURE  
TO WEATHER CONDITIONS. ANY DAMAGE TO NEW AND EXISTING  
FINISHES, CONSTRUCTION, STRUCTURE, LANDSCAPING, CURBS,  
STAIRS, OR EQUIPMENT, ETC. SHALL BE IMMEDIATELY REPAIRED OR  
REPLACED TO THE SATISFACTION OF CINGULAR WIRELESS, AND THE  
PROPERTY OWNER, OR THE OWNER'S REPRESENTATIVE, AT THE  
EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL  
REPLACE OR REMEDY, ANY FAULTY, IMPROPER, OR INFERIOR  
MATERIALS OR WORKMANSHIP OR ANY DEFECTS WHICH SHALL APPEAR  
WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE  
WORK BY CINGULAR WIRELESS UNDER THIS CONTRACT.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO  
LOCATE ALL EXISTING UTILITIES, INCLUDING ON-SITE LATERALS OR  
CONTACT AN OUTSIDE AGENCY TO LOCATE ALL EXISTING UTILITIES.  
WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM  
DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR  
REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY  
DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE  
SECURITY OF THE PROJECT SITE WHILE THE JOB IS IN PROGRESS  
UNTIL THE JOB IS COMPLETED AND ACCEPTED BY CINGULAR  
WIRELESS.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND  
TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER,  
CINGULAR WIRELESS, AND THE CITY OR GOVERNING AGENCY.
- THE LATEST EDITION OF ALL PERMITTED AND APPROVED PLANS  
PERTAINING TO THIS PROJECT SHALL BE KEPT ON-SITE IN A PLAN  
BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION  
SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR  
SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF  
PLANS WITH ALL REVISIONS, ADDENDUMS AND CHANGE ORDERS ON  
THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE  
OF THE JOB SUPERINTENDENT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REDLINING THE  
CONSTRUCTION DOCUMENTS TO ILLUSTRATE THE AS-BUILT CONDITION  
OF THE SITE. THIS SHALL BE DONE AFTER THE SITE HAS BEEN  
AWARDED FINAL INSPECTION BY THE RESPONSIBLE BUILDING AGENCY  
AND APPROVED BY CINGULAR WIRELESS. ONE SET OF REDLINED  
DRAWINGS SHALL BE PROVIDED TO THE CINGULAR WIRELESS  
CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE  
MATERIALS ON A DAILY BASIS, EXCEPT FOR THAT SPECIFIED AS  
REMAINING THE PROPERTY OF THE BUILDING OR PROPERTY OWNER  
AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING  
THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEAN-UP UPON  
COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A BRUSH  
CLEAN CONDITION AT THE END OF EACH DAY AND VACUUM CLEAN  
CONDITION FREE FROM PAINT SPOTS, DUST OR SHADES OF ANY  
NATURE AT COMPLETION OF WORK.
- THE GENERAL CONTRACTOR MUST PERFORM WORK DURING  
PROPERTY OWNERS PREFERRED HOURS TO AVOID DISRUPTION OF  
NORMAL ACTIVITY.
- ALL EXPOSED METAL SHALL BE HOT-DIPPED GALVANIZED.
- SEAL ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES WITH  
U.L. LISTED OR FIRE MARSHAL APPROVED MATERIALS OF THE  
APPROPRIATE RATING FOR THE ASSEMBLY WHERE PENETRATIONS  
OCCUR.

### PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF DESIGN DOCUMENTS IS  
PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT  
WHICH RELATES TO CINGULAR WIRELESS IS STRICTLY PROHIBITED.



PREPARED FOR

**X cingular**  
WIRELESS

6160 CORNERSTONE CT., SUITE 150  
SAN DIEGO, CA 92121

### APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
OWNER APPROVAL	DATE

### PROJECT NAME

## TURMAN RESIDENCE

PROJECT NUMBER

**NS-323-01**

684 DEER SPRINGS ROAD  
SAN MARCOS, CA 92069  
SAN DIEGO COUNTY

### DRAWING DATES

02/28/05	PRELIM 2D REVIEW (rai)
03/04/05	FINAL 2D REVIEW (rai)
06/13/06	PLANNING SUBMITTALS (ao)

### SHEET TITLE

## SITE PLAN & GENERAL SPECIFICATIONS

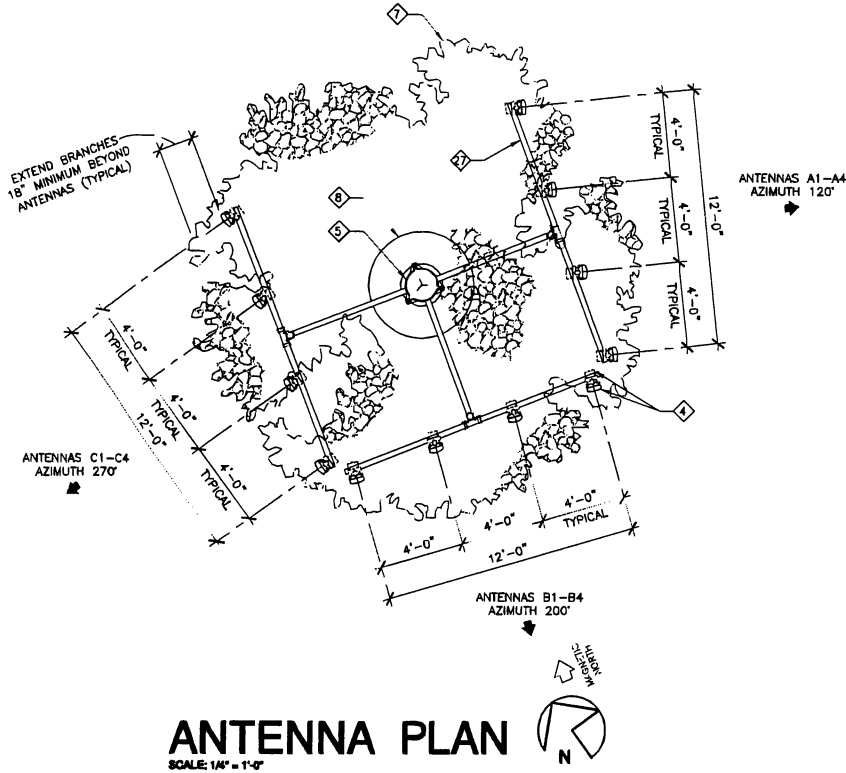
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**A-0**

P05 - 004  
ER 05 - 08 - 006

ANTENNA AND COAXIAL CABLE SCHEDULE										
SECTOR ANTENNA	DIRECTION	AZIMUTH	ANTENNA MODEL NUMBER	DOWNTILT	SKW ANGLE	SERIAL NUMBER	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5')	JUMPER LENGTH (+ / - 3')	COAX. SIZE
A1	EAST	120°	CSS XD004-80-V	0°	N/A		8	55'-0"	6'-0"	7/8"
A2			CSS XD004-80-V							
A3			CSS XD004-80-V							
A4			CSS XD004-80-V							
B1	SOUTH	200°	CSS XD004-80-V	0°	N/A		8	55'-0"	6'-0"	7/8"
B2			CSS XD004-80-V							
B3			CSS XD004-80-V							
B4			CSS XD004-80-V							
C1	WEST	270°	CSS XD004-80-V	0°	N/A		8	55'-0"	6'-0"	7/8"
C2			CSS XD004-80-V							
C3			CSS XD004-80-V							
C4			CSS XD004-80-V							
-	-	GPS	KATHREIN OG-860/1920/GPS-A				2	20'	-	1/2"

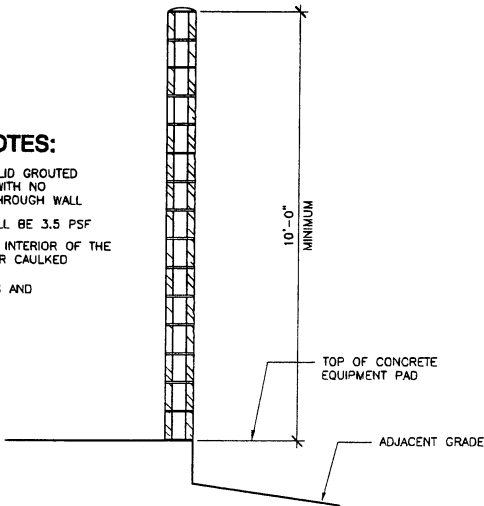
NOTES:  
1. FIELD VERIFY ALL CABLE LENGTHS PRIOR TO ORDERING CABLE.  
2. VERIFY ROUTE AND LENGTH OF CABLE PRIOR TO CUTTING. ADJUST INDICATED ROUTE AS REQUIRED TO CLEAR EXISTING OBSTRUCTIONS AND MAINTAIN REQUIRED CLEARANCE OF EXISTING EQUIPMENT.  
3. VERIFY MODEL NUMBER OF ANTENNA WITH CINGULAR WIRELESS.



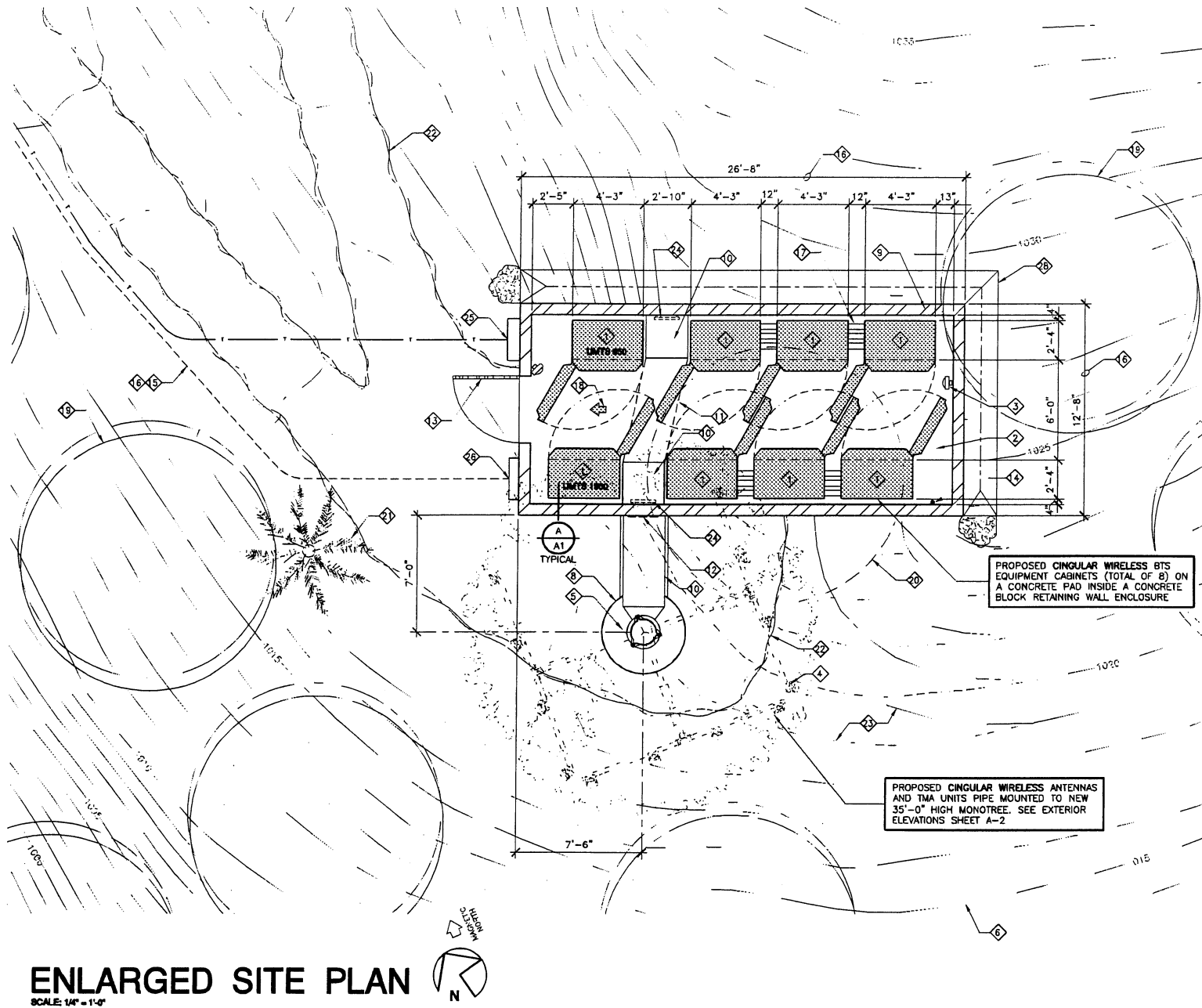
ANTENNA PLAN  
SCALE: 1/4" = 1'-0"

ENCLOSURE WALL NOTES:

- ENCLOSURE WALL SHALL BE SOLID GROUTED SPLIT-FACE CONCRETE BLOCK WITH NO CRACKS OR GAPS BELOW OR THROUGH WALL.
- MINIMUM SURFACE DENSITY SHALL BE 3.5 PSF.
- ANY SEAMS OR CRACKS IN THE INTERIOR OF THE ENCLOSURE SHALL BE FILLED OR CAULKED.
- SEE NOTE 13 FOR DOOR NOTES AND SPECIFICATIONS.



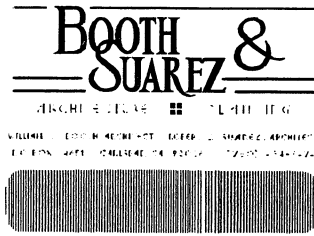
DETAIL A  
SCALE: 1/2" = 1'-0"



ENLARGED SITE PLAN  
SCALE: 1/4" = 1'-0"

KEYED NOTES:

- PROPOSED CINGULAR WIRELESS BTS EQUIPMENT CABINETS MOUNTED ON BATTERY BASE FRAME (TYPICAL OF 8 TOTAL) CABINET WEIGHT 2619 LBS. EACH. BTS UNITS SHALL BE "ERICSSON" RES 2106 OUTDOOR CABINETS OR EQUIVALENTLY SIZED UNITS EACH WITH A MAXIMUM 1-HOUR SOUND PRESSURE LEVEL OF 53 DECIBELS (dBA) AT A REFERENCE DISTANCE OF 5 FEET OR LESS.
- PROPOSED CONCRETE PAD FOR CINGULAR WIRELESS BTS EQUIPMENT.
- SWITCH OPERATED LIGHT FIXTURE MOUNTED TO ENCLOSURE WALL (TYPICAL OF 2).
- PROPOSED CINGULAR WIRELESS ANTENNAS & TMA UNITS PIPE MOUNTED TO MONOTREE.
- PROPOSED 35'-0" HIGH MONOTREE.
- EXISTING SLOPED EMBANKMENT WITH CONTOURS AT 1'-0" INTERVALS.
- APPROXIMATE OUTLINE OF MONOTREE AT ANTENNA LEVEL.
- PROPOSED CONCRETE MONOTREE FOOTING.
- PROPOSED SPLIT-FACE CONCRETE BLOCK RETAINING WALL (NOISE CONTROL ELEMENT) SEE DETAIL "A/A1".
- PROPOSED GALVANIZED SHEET METAL CABLE SHROUD ON A CONCRETE APRON.
- PROPOSED COAX CABLE TRENCH WITH (5) 4" PVC CONDUITS.
- PROPOSED COAX CABLE PORT.
- PROPOSED 4'-0" WIDE x 7'-0" HIGH SOLID CORE 16 GA. GALVANIZED STEEL CLAD DOOR WITH GALVANIZED WELDED STEEL FRAME AND ALUMINUM THRESHOLD. DOOR FRAME AND THRESHOLD SHALL HAVE STOPS THAT OVERLAP THE DOOR ON ALL EDGES. THOSE OVERLAPS SHALL BE SOUND SEALED WITH U/V RESISTANT URETHANE FOAM TAPE. SEE DETAILS "1/A3" & "2/A3".
- PROPOSED E-911/GPS ANTENNA MOUNTED TO ENCLOSURE WALL.
- PROPOSED UTILITY TRENCH (TELCO & ELECTRICAL).
- REMOVE EXISTING ROCKS AND SHRUBS AS REQUIRED TO INSTALL TRENCHES AND EQUIPMENT ENCLOSURE.
- (3) 3" RIGID CONDUIT BETWEEN BTS CABINETS (TYPICAL).
- SLOPE CONCRETE PAD MINIMUM 1% FOR DRAINAGE.
- EXISTING TREES TO REMAIN (TYPICAL).
- REMOVE EXISTING TREE (SHOWN DASHED).
- EXISTING PALM TREE TO REMAIN (TYPICAL).
- EDGE OF EXISTING DIRT ACCESS ROAD. EXTEND AT PROPOSED EQUIPMENT ENCLOSURE.
- MODIFY GRADE SLOPE FOR NEW DIRT PAD AT MONOTREE LOCATION.
- APPROXIMATE LOCATION OF GROUND BUS BAR INSIDE CABLE SHROUD.
- PROPOSED TELCO SPLICE BOX UNISTRUT MOUNTED TO ENCLOSURE WALL.
- PROPOSED "BENJAMIN" COMBINATION ELECTRICAL SUB-PANEL, GENERATOR LUG CONNECTION, AND MANUAL TRANSFER SWITCH MOUNTED TO ENCLOSURE WALL.
- PROPOSED MONOTREE ANTENNA SUPPORT CROSS ARMS & FRAMES.
- PROPOSED CONCRETE BROW DITCH WITH ROCK RIP-RAP DIVERTER AT END OF BROW DITCH.



PREPARED FOR  
**cingular**  
WIRELESS  
6160 CORNERSTONE CT., SUITE 150  
SAN DIEGO, CA 92121

APPROVALS	
R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
OWNER APPROVAL	DATE

PROJECT NAME  
**TURMAN RESIDENCE**  
PROJECT NUMBER  
**NS-323-01**  
684 DEER SPRINGS ROAD  
SAN MARCOS, CA 92069  
SAN DIEGO COUNTY

DRAWING DATES	
02/28/05	PRELIM 2D REVIEW (ral)
03/04/05	FINAL 2D REVIEW (ral)
02/13/06	PLANNING COMMENTS (jab)
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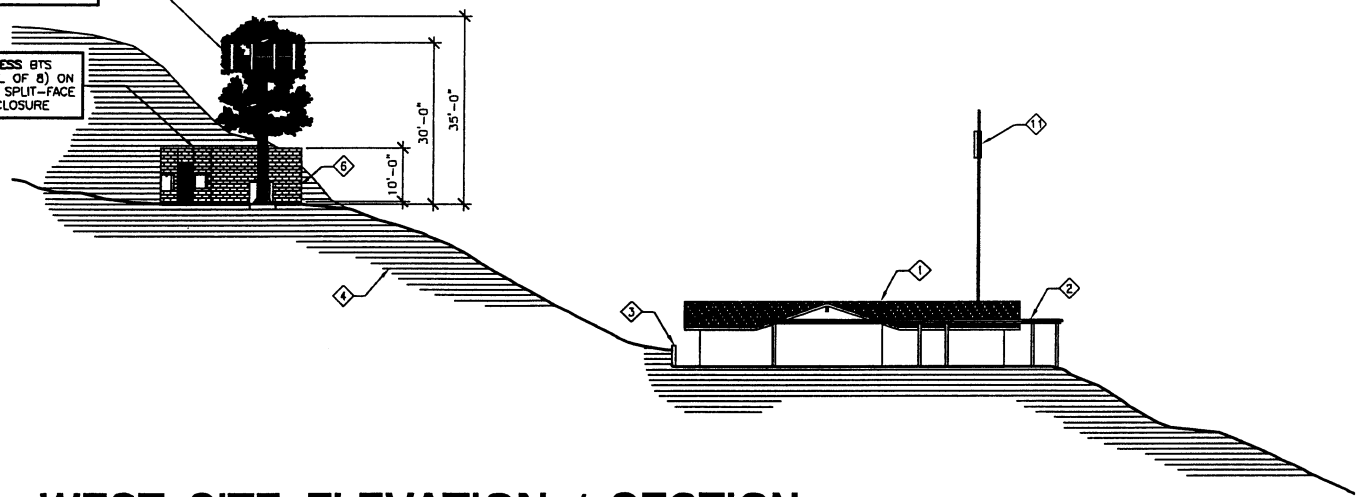
SHEET TITLE

ENLARGED SITE PLAN

PROJECTS\cingular\05015zd\05015zA1.dwg

PROPOSED CINGULAR WIRELESS ANTENNAS AND TMA UNITS PIPE MOUNTED TO NEW 35'-0" HIGH MONOTREE

PROPOSED CINGULAR WIRELESS BTS EQUIPMENT CABINETS (TOTAL OF 8) ON A CONCRETE PAD INSIDE A SPLIT-FACE BLOCK RETAINING WALL ENCLOSURE



WEST SITE ELEVATION / SECTION  
SCALE: 1/16" = 1'-0"

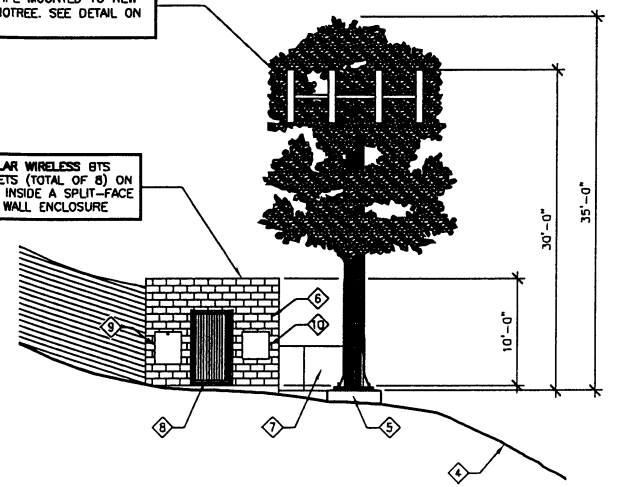
NOTE:  
EXISTING TREES & LANDSCAPE  
NOT SHOWN FOR CLARITY

KEYED NOTES

- 1 EXISTING SINGLE FAMILY RESIDENCE
- 2 EXISTING WOOD TRELLIS • RESIDENCE
- 3 EXISTING STONE WALL
- 4 EXISTING SLOPED EMBANKMENT
- 5 PROPOSED CONCRETE MONOTREE FOOTING
- 6 PROPOSED CONCRETE BLOCK RETAINING WALL
- 7 PROPOSED GALVANIZED SHEET METAL CABLE SHROUD ON A CONCRETE APRON
- 8 PROPOSED WROUGHT IRON GATE
- 9 PROPOSED TELCO SPLICE BOX UNISTRUT MOUNTED TO ENCLOSURE WALL
- 10 PROPOSED "BENJAMIN" COMBINATION ELECTRICAL SUB-PANEL, GENERATOR LUG CONNECTION, AND MANUAL TRANSFER SWITCH MOUNTED TO ENCLOSURE WALL
- 11 EXISTING 48'-0" FLAG POLE WITH TELECOMMUNICATIONS ANTENNAS

PROPOSED CINGULAR WIRELESS ANTENNAS AND TMA UNITS PIPE MOUNTED TO NEW 35'-0" HIGH MONOTREE. SEE DETAIL ON SHEET A-3

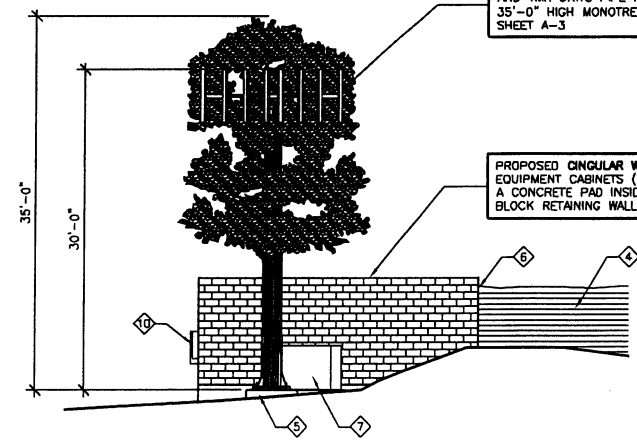
PROPOSED CINGULAR WIRELESS BTS EQUIPMENT CABINETS (TOTAL OF 8) ON A CONCRETE PAD INSIDE A SPLIT-FACE BLOCK RETAINING WALL ENCLOSURE



WEST ELEVATION  
SCALE: 1/16" = 1'-0"

PROPOSED CINGULAR WIRELESS ANTENNAS AND TMA UNITS PIPE MOUNTED TO NEW 35'-0" HIGH MONOTREE. SEE DETAIL ON SHEET A-3

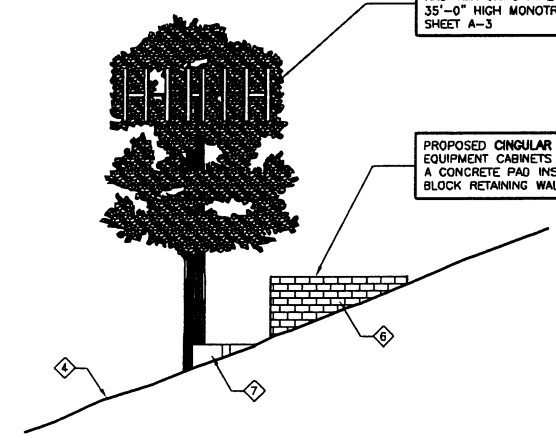
PROPOSED CINGULAR WIRELESS BTS EQUIPMENT CABINETS (TOTAL OF 8) ON A CONCRETE PAD INSIDE A SPLIT-FACE BLOCK RETAINING WALL ENCLOSURE



SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"

PROPOSED CINGULAR WIRELESS ANTENNAS AND TMA UNITS PIPE MOUNTED TO NEW 35'-0" HIGH MONOTREE. SEE DETAIL ON SHEET A-3

PROPOSED CINGULAR WIRELESS BTS EQUIPMENT CABINETS (TOTAL OF 8) ON A CONCRETE PAD INSIDE A SPLIT-FACE BLOCK RETAINING WALL ENCLOSURE



EAST ELEVATION  
SCALE: 1/16" = 1'-0"

NOTE:  
EXISTING TREES & LANDSCAPE  
NOT SHOWN FOR CLARITY

APPROVALS	
R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
OWNER APPROVAL	DATE

PROJECT NAME  
**TURMAN RESIDENCE**

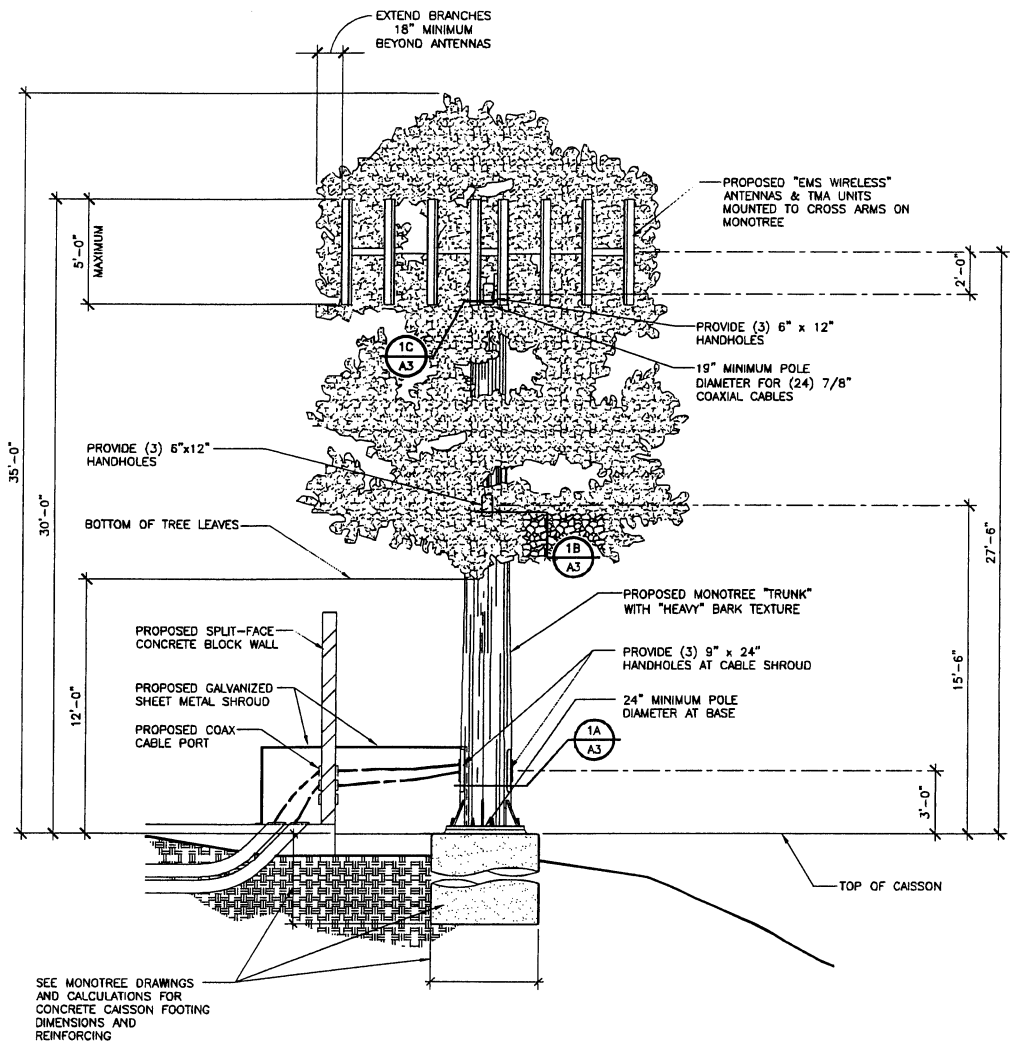
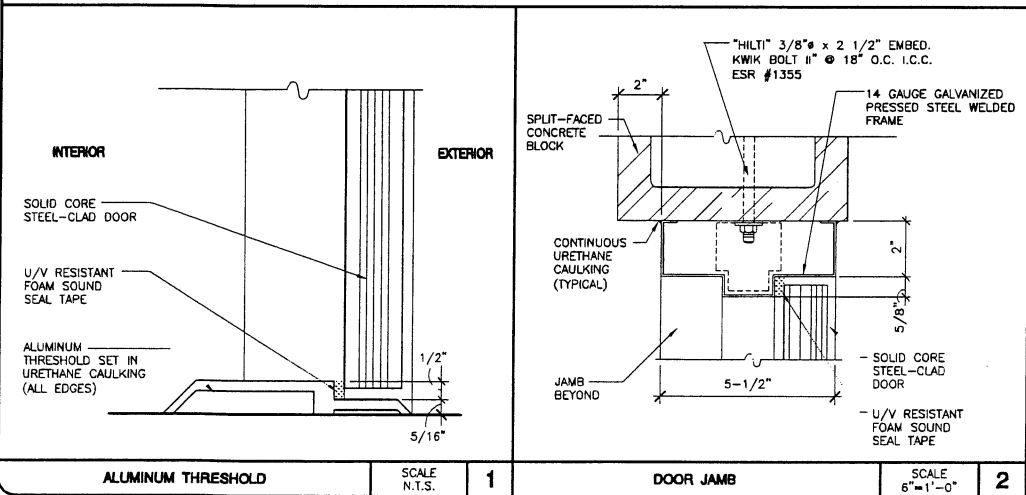
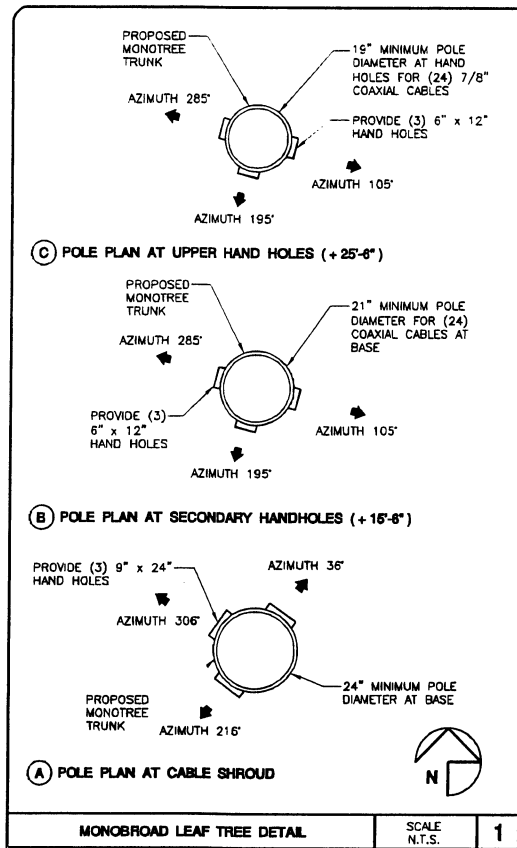
PROJECT NUMBER  
**NS-323-01**

684 DEER SPRINGS ROAD  
SAN MARCOS, CA 92069  
SAN DIEGO COUNTY

DRAWING DATES	
02/28/05	PRELIM 2D REVIEW (ral)
03/04/05	FINAL 2D REVIEW (ral)
06/13/06	PLANNING SUBMITTALS (ao)

SHEET TITLE  
**EXTERIOR ELEVATIONS**

PROJECTS\cingular\05015zd\05015zA2.dwg



BOOTH & SUAREZ

ARCHITECTURE PLANNING

10000 N. BOULEVARD, SUITE 1000, SAN DIEGO, CA 92121  
 TEL: 619.444.1000 FAX: 619.444.1001

PREPARED FOR

6160 CORNERSTONE CT., SUITE 150  
 SAN DIEGO, CA 92121

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
OWNER APPROVAL	DATE

PROJECT NAME

TURMAN RESIDENCE

PROJECT NUMBER

NS-323-01

684 DEER SPRINGS ROAD  
SAN MARCOS, CA 92069  
SAN DIEGO COUNTY

DRAWING DATES

02/28/05	PRELIM 2D REVIEW (ral)
03/04/05	FINAL 2D REVIEW (ral)
02/13/06	PLANNING COMMENTS (lab)
06/13/06	PLANNING SUBMITTALS (oo)

SHEET TITLE

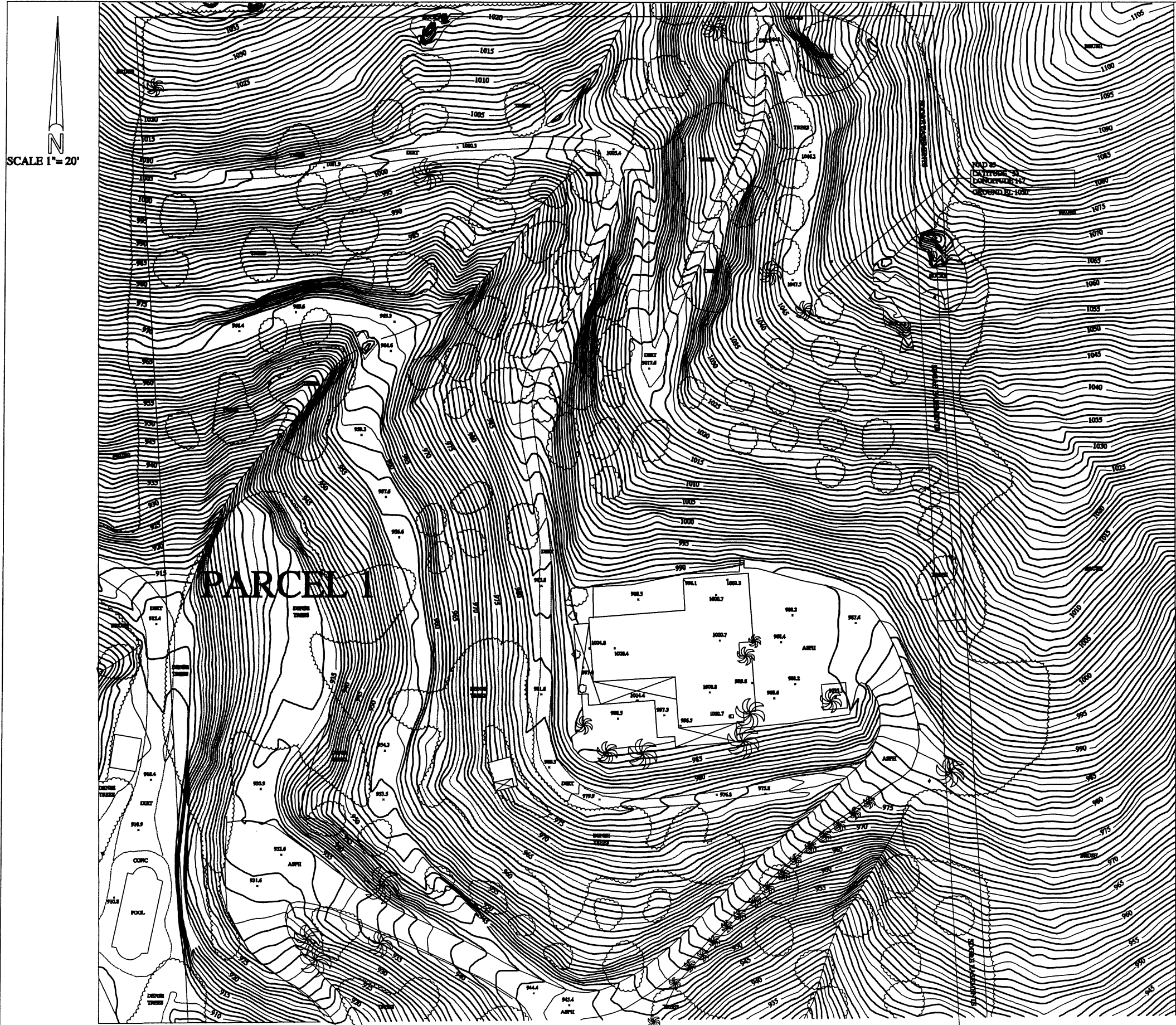
MONOTREE DETAILS

PROJECTS\cingular\05015zd\05015za3.dwg

A-3

P05 - 004  
 ER 05 - 08 - 006





SHEET 1 OF 1 SHEET  
**CINGULAR WIRELESS**  
TURMAN RESIDENCE - NS-323-01  
684 DEER SPRINGS ROAD  
SAN MARCOS, CA 92069

LEGAL DESCRIPTION

PARCEL A  
PARCEL 1 OF PARCEL MAP NO. 1944, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 27, 1973 AS FILE NO. 73-273098 OF OFFICIAL RECORDS.  
PARCEL B  
AN EASEMENT FOR ROAD AND UTILITY PURPOSES OVER THE WEST 30.00 FEET OF PARCEL 2 OF PARCEL MAP NO. 1944, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JUNE 7, 1978 AS FILE NO. 73-273098 OF OFFICIAL RECORDS.

BASIS OF BEARINGS

IS GRID NORTH BASED UPON G.P.S. OBSERVATIONS.

BENCHMARK

COUNTY OF SAN DIEGO CONTROL STATION ROS13928 PTN1069. ELEVATION 1016.97' MEAN SEA LEVEL (N.G.V.D. 1929).

NOTES

1. EASEMENTS, AGREEMENTS, DOCUMENTS AND OTHER MATTERS WHICH AFFECT THIS PROPERTY MAY EXIST, BUT CANNOT BE PLOTTED. SEE TITLE REPORT.
2. THE PRECISE LOCATION OF UNDERGROUND UTILITIES COULD NOT BE DETERMINED IN THE FIELD. PRIOR TO ANY EXCAVATION UTILITY COMPANIES WILL NEED TO MARK-OUT EXACT UTILITY LOCATIONS.
3. THE ASSESSOR PARCEL NUMBER FOR THE SUBJECT PROPERTY IS 182-040-07.
4. THE ADDRESS FOR THE SUBJECT PROPERTY IS 684 DEER SPRINGS RD., SAN MARCOS, CA.
5. THE AREA OF THE SUBJECT PROPERTY IS 3.16 ACRES.

SURVEYOR'S STATEMENT

CHRISTENSEN ENGINEERING & SURVEYING HEREBY STATES THAT THE SURVEYING SERVICES PROVIDED FOR THIS SURVEY WERE CONDUCTED IN ACCORDANCE WITH GENERALLY ACCEPTED LAND SURVEYING PRACTICES UNDER THE SUPERVISION OF A REGISTERED CIVIL ENGINEER LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.



FEBRUARY 16, 2005  
CHARLES W. CHRISTENSEN, R.C.E. #195 Date

ABBREVIATIONS

ASPH ASPHALT  
CONC CONCRETE  
EL ELEVATION  
NAD 83 NORTH AMERICAN DATUM 1983

C-1

DRAWING REVISIONS	
DATE	DESCRIPTION
02/16/05	ORIGINAL ISSUE
02/23/05	ADDED TREES

P05 - 004  
ER 06 - 06 - 008

J.N. 2005-23